

GENERAL NOTE:

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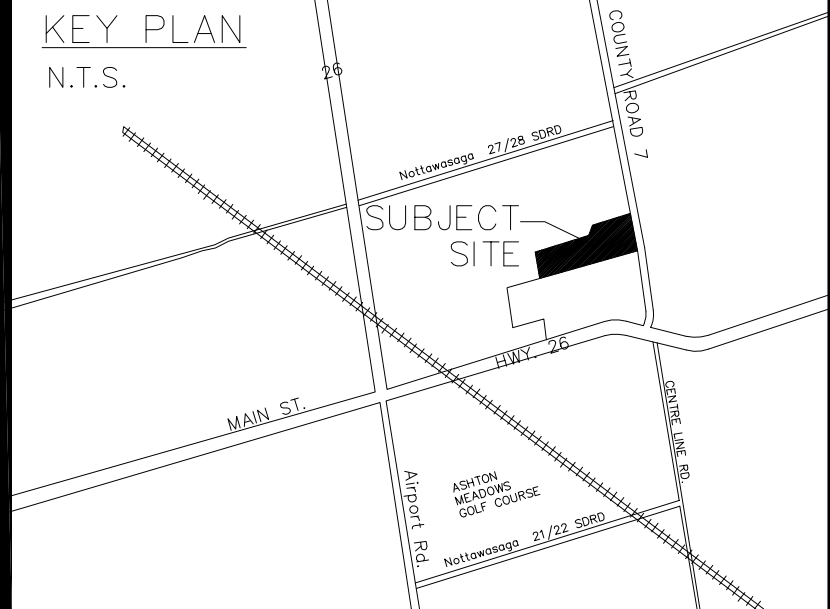
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LEGAL DESCRIPTION

TOPOGRAPHICAL PLAN OF SURVEY
of Part of LOT 26
CONCESSION 1
(GEOGRAPHIC TOWNSHIP OF NOTTAWASAGA)
in the
TOWNSHIP OF CLEARVIEW
COUNTY OF SIMCOE

ADDITIONAL INFORMATION AS REQUIRED UNDER SECTION 51 OF THE ONTARIO PLANNING ACT, R.S.O. 1990, c.P.13 (AS AMENDED APRIL, 1997).

- a) AS SHOWN
- b) AS SHOWN
- c) SEE LAND USE SCHEDULE
- d) AS SHOWN
- e) AS SHOWN
- f) AS SHOWN
- g) AS SHOWN
- h) MUNICIPAL WATER SUPPLY AVAILABLE
- i) SANDY
- j) AS SHOWN
- k) MUNICIPAL SANITARY AND STORM SEWERS
- l) AS SHOWN



LAND USE SCHEDULE

TOTAL AREA TO BE SUBDIVIDED	256,070.01 sm.(100%)
Detached Lots: Lots 1 to 244	110,033.20 sm (43.0%)
Semi-detached Lots: Blocks 1-30	16,450.27 sm (6.4%)
Park Dedication: Block 31	12,997.67 sm (5.1%)
SWM Pond: Block 32	20,575.26 sm (8.0%)
Lands To Be Retained: Block 33	26,313.80 sm (10.3%)
Road Widening: Blocks 34, 36	2,267.80 sm (0.9%)
Pedestrian Path: Blocks 39, 46	2,347.10 sm (0.9%)
0.3m Reserve: Blocks 35, 37, 38, 40-45	55.00 sm (0.0%)
Roads: Streets A - K	65,029.91 sm (25.4%)

TOTAL NUMBER OF DWELLINGS	= 304
Total Detached Homes	= 244
Total Semi-detached Homes	= 60

Medium Density: Townhomes = max 50 units/ GROSS Ha.
Low Density: Single Detached = max 12 units/ GROSS Ha.
Semi Detached = max 15 units/ GROSS Ha.

	Street Townhouse	Detached Homes	Semi-Detached Homes
Min Lot Depth	30.0 m	30.0m	30.0m
Min Lot Frontage	6.7m	12.2m	9.0m
Min Lot Area	201.0 sm	366 sm	270.0 sm

Existing Zoning: DA (Development Area)
Proposed Zoning: Residential
Existing Official Plan: Future Development
Proposed Official Plan: Residential
Adjacent Use of Land: See Plan

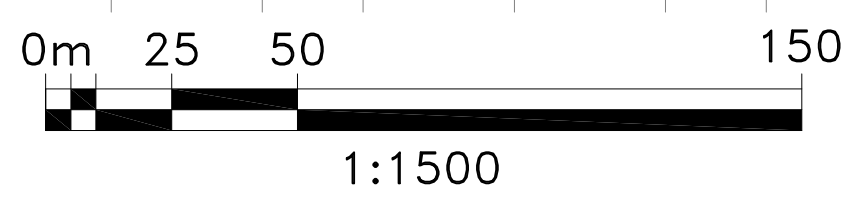
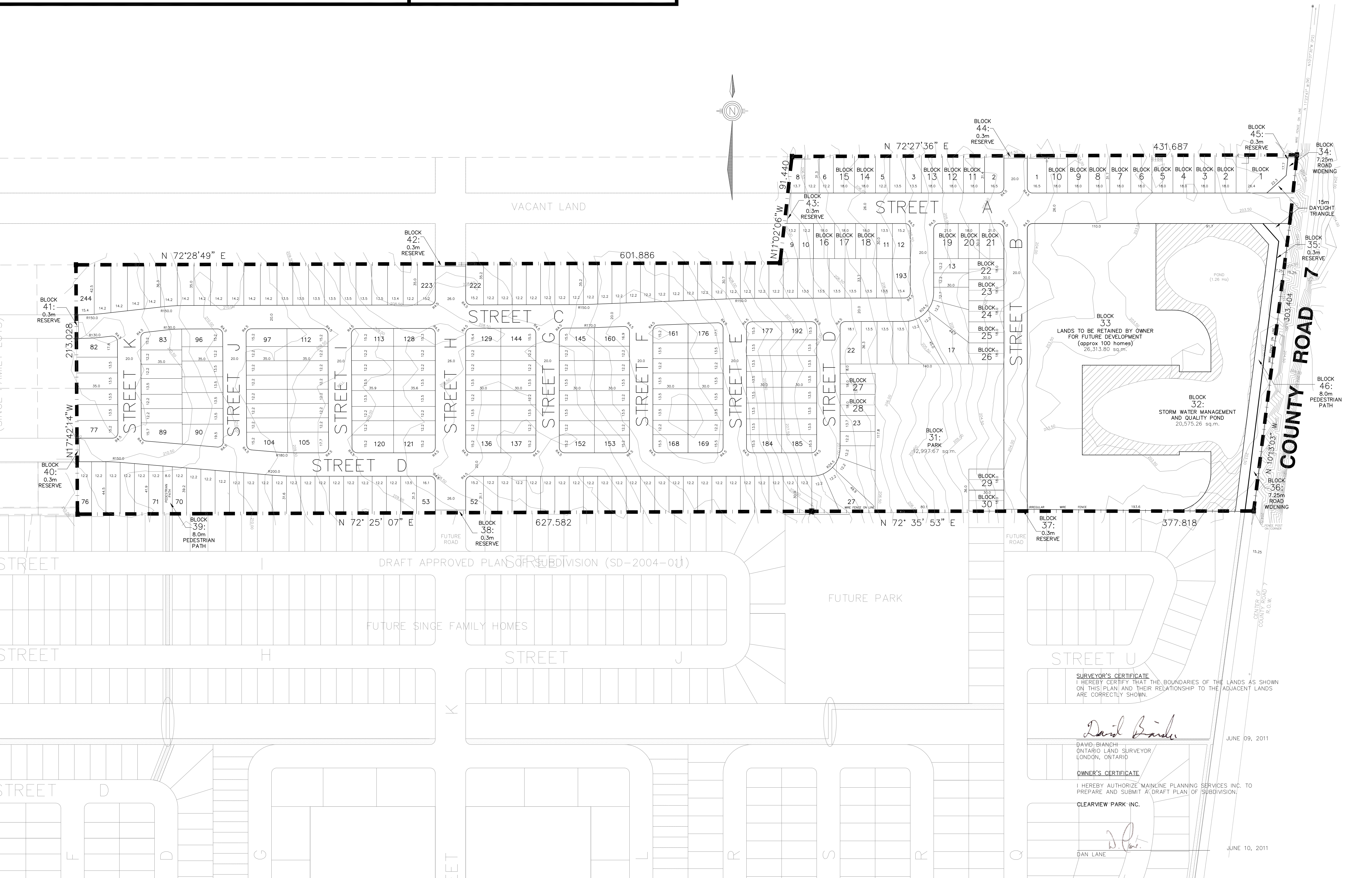
NOTE:
ALL SURVEY INFORMATION TAKEN FROM A PLAN OF SURVEY BY HOLSTEAD & REDMOND LIMITED, ONTARIO LAND SURVEYOR, 649 COLBORNE STREET, LONDON, ONTARIO, N6A 3Z2
toll free 1-800-265-4945

NO.	DATE	DESCRIPTION	BY
03	08-13	REVISED PER STAFF/AGENCY COMMENTS	K.R.
02	02-13	REVISED PER STAFF/AGENCY COMMENTS	J.P.P.
01	06-11	SUBMITTED TO CLEARVIEW	J.P.P.

mainline
planning services inc.
PH (905) 893-0046 FAX (905) 893-5446
P.O. BOX 319, KLEINBURG, ONTARIO, L0J 1C0

DRAWING TITLE	PLAN OF SUBDIVISION
PROJECT	CLEARVIEW PARK
DEVELOPER/OWNER	CLEARVIEW PARK INC.

DRAWN	J.P.P./KR	CHECKED	J.P.P.	SCALE	1 : 1500	DWG. NO.	
DATE	07-10	ISSUED	J.P.P.	JOB NO.		SP1	



SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LANDS AS SHOWN ON THIS PLAN AND THEIR RELATIONSHIP TO THE ADJACENT LANDS ARE CORRECTLY SHOWN.

David Bianchi
DAVID BIANCHI
ONTARIO LAND SURVEYOR
LONDON, ONTARIO

JUNE 09, 2011

OWNER'S CERTIFICATE
I HEREBY AUTHORIZE MAINLINE PLANNING SERVICES INC. TO PREPARE AND SUBMIT A DRAFT PLAN OF SUBDIVISION.

CLEARVIEW PARK INC.

D. Lane
DAN LANE

JUNE 10, 2011

Schedule 'A'

BLOCK 44:
0.3m
RESERVE

N 72°27'36" E

