

1 LOWER LEVEL FLOOR PLAN
SCALE 3/16"=1'-0"

2 UPPER LEVEL FLOOR PLAN
SCALE 3/16"=1'-0"

ELEVATOR:
MANUF. - SAVARIA ORION LU-LA
SIZE - 48"x54"
TYPE - 1L
STEEL WALL PANELS - WHITE
METAL FIXTURES - S.S. #4

WALL TYPES:

- W1- EXISTING EXTERIOR WALL TO REMAIN
- W2- EXTERIOR LOWER WALL
 - PARKING
 - WATER PROOFING
 - 8" CONCRETE BLOCK
 - 1/2" AIR SPACE
 - 3 1/2" WOOD STUDS @ 16" O.C.
 - R29 SPRAY FOAM INSULATION
 - 1/2" GYPSUM BOARD
 - PRIMED 1x, PAINTED 2x
- W3- EXTERIOR UPPER WALL 1/2 HR RATED
 - SIDING
 - TYVEK BUILDING WRAP
 - 3/4" PLYWOOD SHEATHING
 - 5 1/2" WOOD STUDS @ 16" O.C.
 - R29 SPRAY FOAM INSULATION
 - 5/8" GYPSUM BOARD
 - PRIMED 1x, PAINTED 2x
- W4- EXTERIOR UPPER WALL 1/2 HR RATED
 - SIDING
 - TYVEK BUILDING WRAP
 - 3/4" PLYWOOD SHEATHING
 - 8" CONCRETE BLOCK
 - 1/2" AIR SPACE
 - 3 1/2" WOOD STUDS @ 16" O.C.
 - R29 SPRAY FOAM INSULATION
 - 5/8" TYPE 'X' GYPSUM BOARD
 - PRIME 1x, PAINT 2x (BOTH SIDES)
- W5- INTERIOR BLOCK WALL
 - 190mm CONCRETE BLOCK
 - PRIME 1x, PAINT 2x
- W6- INTERIOR PARTITION WALL (1HR F.R.R. - ULC 301)
 - 5/8" TYPE 'X' GYPSUM BOARD
 - 3 1/2" WOOD STUDS @ 16" O.C.
 - 5/8" TYPE 'X' GYPSUM BOARD
 - PRIME 1x, PAINT 2x (BOTH SIDES)
- W7- INTERIOR PARTITION WALL (1HR F.R.R. - ULC 301)
 - 5/8" TYPE 'X' GYPSUM BOARD
 - 3 1/2" WOOD STUDS @ 16" O.C.
 - 5/8" TYPE 'X' GYPSUM BOARD
 - PRIME 1x, PAINT 2x (BOTH SIDES)
- W8- INTERIOR PARTITION WALL
 - 1/2" GYPSUM BOARD
 - 3 1/2" WOOD STUDS @ 16" O.C.
 - 1/2" GYPSUM BOARD
 - PRIME 1x, PAINT 2x (BOTH SIDES)
- W9- INTERIOR PARTITION WALL
 - 1/2" GYPSUM BOARD
 - 3 1/2" WOOD STUDS @ 16" O.C.
 - 1/2" GYPSUM BOARD
 - PRIME 1x, PAINT 2x (BOTH SIDES)

NOTES:

1. REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ALL CONCRETE BLOCK WALL BEARING, REINFORCING, LINTELS & BRACING REQUIREMENTS.
2. CONTRACTOR TO COORDINATE BETWEEN ALL SUB TRADES TO ENSURE THAT THE FULL DRAWING PACKAGE IS READ IN CONJUNCTION WITH EACH OTHER.
3. REFER TO MILLWORK DETAILS FOR ALL KITCHEN CABINETS, COUNTERS AND OTHER REQUIRED DETAILS.
4. REFER TO SCHEDULES FOR DOOR, ROOM, WASHROOM ACCESSORIES AND COLOUR SCHEDULE.
5. CONTRACTOR TO COORDINATE WITH OWNER FOR PLACEMENT OF ANY STORAGE, GARBAGE AREAS REQUIRED FOR CONSTRUCTION.
6. CONTRACTOR TO COORDINATE WITH CONSULTANTS ALL REQUIRED INSPECTIONS 48HRS PRIOR TO INSPECTIONS BEING REQUIRED.

NOTES:

WATERPROOFING SHALL BE XYPEK MEGAMIX 1 OVER XYPEK CONCENTRATE. TYPICAL FOR ALL NEW EXTERIOR BLOCK WALLS.

DO NOT SCALE DRAWINGS.
ALL CONSTRUCTION SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH ALL LOCAL / APPLICABLE BUILDING CODES.
ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED ON SITE PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES, ERRORS, OMISSIONS IMMEDIATELY.
ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF THE CONSULTANT, AND SHALL BE RETURNED TO THE CONSULTANT UPON REQUEST.
ALL WORK SHALL BE COMPLETED IN A NEAT, SAFE, AND PROFESSIONAL MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTION STANDARDS / PRACTICES, AND MATERIAL / EQUIPMENT, MANUFACTURERS / SUPPLIERS SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS.
THE CONTRACTOR SHALL REPAIR AND REPLACE AND MAKE GOOD ALL ITEMS DISTURBED DURING CONSTRUCTION.
THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT, LABOUR, ETC. NECESSARY TO COMPLETE THE PROJECT IN ALL RESPECTS (READY FOR OCCUPANCY) EVEN THOUGH THERE MAY BE OMISSIONS IN THESE DRAWINGS.
MAKE GOOD ALL TRADES AND DEMOLITIONS. EACH TRADE SHALL CLEAN UP AFTER ITSELF OR PAY SUCH COSTS TO OWNER.
WHERE MATERIALS, EQUIPMENT, FINISHES, FIXTURES, ETC. ARE INDICATED WITHOUT SPECIFIC INFORMATION RELATING TO QUALITY, GRADE, COLOUR, TYPE, OR MANUFACTURER, THE CONTRACTOR SHALL OBTAIN THE OWNERS APPROVAL FOR THE PROPOSED MATERIAL. EQUIPMENT, FINISH PRIOR TO THE INSTALLATION THEREOF. REFER TO GENERAL NOTES' PAGE FOR COMPLETE 'GENERAL NOTES' AND SPECIFICATIONS.

NO.	Revision	Column	Date	
4.	REISSUED FOR REVIEW		SEPT 27/22	PA
3.	OWNER REVISIONS		AUG. 24/22	PA
2.	ISSUED FOR ADDENDUM #1		SEP 6/16	SG
1.	ISSUED FOR TENDER		AUG 25/16	SG

Orientation

Stamp

CONSTRUCTION NORTH

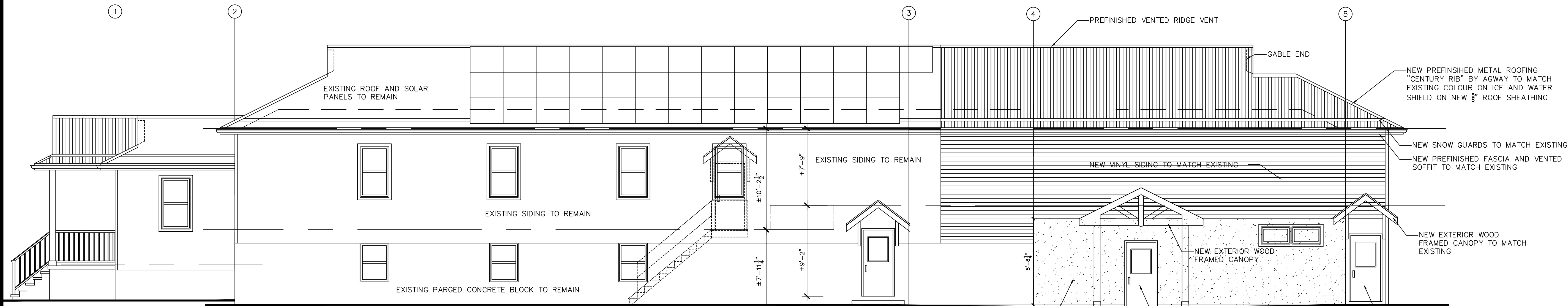
DATE: SEPT 27, 2022

Date: JULY 2016
P.A.A. Project No. 221612
Drawn By: SG
Designed By: SG
Reviewed By: PWA
Scale 3/16" = 1'-0"
Client
TOWNSHIP OF CLEARVIEW
217 Gideon Street, Stayner, ON L0M 1S0

Project
ADDITION TO AVENING HALL COMMUNITY CENTER
3401 County Road 42, Avening, ON

Drawing
UPPER & LOWER FLOOR PLAN

PETER ARCHER
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1 SOUTH ELEVATION
SCALE 3/16"=1'-0"

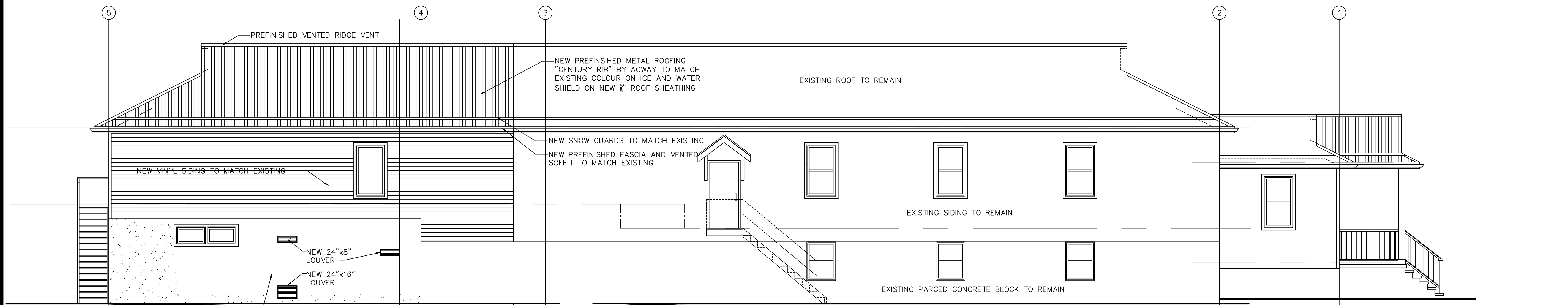
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2 WEST ELEVATION
SCALE 3/16"=1'-0"



3 EAST ELEVATION
SCALE 3/16"=1'-0"



4 NORTH ELEVATION
SCALE 3/16"=1'-0"

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SEP 27/22

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Drawing
ELEVATIONS

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